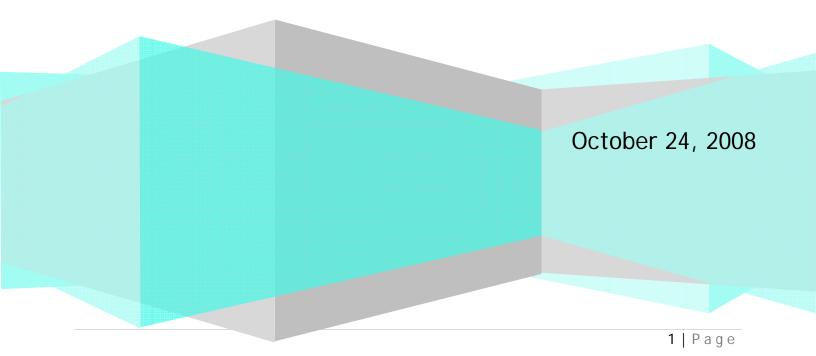
Daniel Alexander | CM | Dr. Messner



# Technical Report 2 Doctors Community Hospital Lanham, MD



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# EXECUTIVE SUMMARY

Technical report two is based on a frame work of a detailed cost analysis and in depth schedule for the Doctor's Community Hospital in Lanham, MD. Site layout and logistics, project schedule, structural estimate breakdown, and general conditions costs are the topics focused on. At the conclusion, a discussion of the Pace Roundtable is introduced, and one technical session of the conference is analyzed in depth.

Technical report two further develops ideas that were introduced in technical report one. A detailed schedule is developed that looks closely at trade relations and how work will be sequenced throughout the construction of the project. All major milestones are delineated on the schedule, as well as structural, exterior façade, and interior fit-out sequences.

Site layout is an important issue on any construction. Doctor's Community Hospital, with its very congested site, is no different. Three phases wroth of site plans were developed. They outline the layout at excavation, steel erection, and interior fit-out time frames on site.

Two detailed estimates were created for this report. The first is a detailed structural estimate. It outlines the expected costs for all steel, concrete, and reinforcing that will be required for DCH. The second estimate developed was for general conditions. Looking at jobsite overhead costs such as personnel, site utilities, facilities, and site requirements such as fencing, barricades, and signage, the general conditions analyze the cost of operating a jobsite.

The final element of the report is an analysis of a technical session presented at the PACE roundtable. Focusing on the BIM session, topics that were discussed revolved around the concept of "Putting the 'I' in BIM". Topics that were discussed include transfer of information, who is responsible for what level of detail, and what current uses are being implemented in the field.

# DETAILED PROJECT SCHEDULE

## SCHEDULE OVERVIEW

The Doctors Community Hospital (DCH) is a 3 piece addition to the existing building. The first piece is 1 story on the south end that will expand the Emergency Department (ED). Piece two is a five story tower being built alongside the existing patient room tower. The first floor of this tower will tie in with the Emergency Department expansion. The second floor is currently left as shell space, but allowances have been placed in the schedule to facilitate the build out when it is released. The hospital has not finalized what the space will be used for, but it is expected to be partially an MRI suite, with the remainder being used for administrative office space. The top three floors of piece two are all private patient rooms. The final piece is actually an extension of piece two. The north end of the patient tower is being built on top of an existing two story transition care portion of the building. When the addition is complete, renovations are to take place on floors three through five of the existing tower. This point will signify the complete of the project. A detailed Gantt chart showing durations and relations can be found in Appendix I: Detailed Project Schedule.

#### PHASING REQUIREMENTS

Three major milestones affect the phasing of this project. The first milestone is the completion and occupancy of the ED expansion. DCH has directed Gilbane to have this portion of the hospital open and operational in March of 2009. The next milestone is the completion of the patient tower. Scheduled to be complete by Mid-summer 2009, this tower will drastically increase the number of beds available for inpatient treatment. Completing the renovations is the final milestone with which DCH is concerned. Renovations will be completed by February of 2010, and mark the final phased milestone, and also the completion of the job at DCH.

# SITE LAYOUT PLANNING

Site planning is a critical issue on the Doctors Community Hospital project. The site is extremely congested, and there are multiple construction projects going on simultaneously. Furthermore, the hospital is remaining in full operation during the construction. This fact means traffic management will be a critical issue so as not to interfere with emergency vehicles entering and leaving the campus.

If the north side of the site were able to be utilized for traffic flow, it would be a big advantage because one-way traffic could be implemented. However, as noted on the site plan in Appendix I, the area is too congested. Parking for hospital employees limits the traffic to typical pickup trucks and foreman vehicles only. Tractor trailers and other large delivery trucks have too large a turning radius to safely navigate that area. As a result, all larger deliveries (Concrete trucks, Flatbeds, large trucks) must all come in from, and exit at the south gate. This situation also makes communication of traffic patterns to delivery people crucial. If a tractor trailer were to take the west entrance road, they would get stuck and have to navigate out of the lot by backing the whole way back down to the main road. Traffic would be congested if this were too happen, which could impact emergency vehicles entering and exiting the hospital grounds.

#### EXCAVATION

Excavation was not very extensive on this project. Shallow excavation was all that had to occur at the south end of the building. The grade was already low enough, and the only excavation that occurred was for footings and underground MEP installation. The northern limit of excavation was deeper and also required underpinning along the existing building so as not to undercut existing foundations. (See Appendix I: Site Layout Planning for plan)

## STEEL ERECTION

Steel Erection poses one very distinct challenge. With the crane on site, it becomes very difficult to have traffic move through the site. Fortunately, there was just enough room when having the truck crane on site, other vehicles were still able to get by if needed, though it was avoided if at all possible. One crane was used for steel erection, and though it was a truck crane, they only used two locations.

## **INTERIOR FIT-OUT**

Throughout the façade installation and during interior fitout, a hoist will be used to move people and materials vertically. This situation will exist until the permanent elevators are fully functional and protected to be used for the duration of construction. Buggies and trash chutes will be used until the building is closed in. As the façade closes, the chute will be removed, and the buggies will go all the way to the dumpster.

# DETAILED STRUCTURAL SYSTEMS ESTIMATE

#### OVERVIEW

Take-offs for this estimate were prepared using a combination of Revit Architecture and Revit Structure. A detailed model of the steel and concrete systems was created based of the hard copy construction drawings. Quantities were generated automatically within Revit using the Schedule/Quantities function. These gross values were then imported into Excel to filter into useful numbers that could be estimated with RS Means. The total for the detailed estimate for the structural system at Doctors Community Hospital was \$1,539,912 as illustrated below in Table 1. A detailed breakdown of the estimate maybe found in Appendix III of this report.

#### TABLE 1: SUMMARY OF DETAILED STRUCTURAL ESTIMATE

Summary of	Detailed Estimate	
Steel		
Columns	\$	291,324
Beams	\$	623,164
Metal Deck	\$	116,042
Concrete		
Foundations	\$	210,067
Slabs	\$	252,835
Slab Reinforcing	\$	46,480
Structural Total	\$	1,539,912

## METHODOLOGY AND ASSUMPTIONS FOR ESTIMATE

- Used RS Means online costworks for all cost values (2008 values)
- Adjusted to reflect Maryland's location factor of .97 (Automatically done online)
- Utilized "Concrete in place" category, which includes formwork, finishing, placement, and reinforcement in unit cost
- Overhead and Profit were not included
- Open shop labor was assumed

# GENERAL CONDITIONS ESTIMATE

General conditions at Doctors Community Hospital have been divided into 4 major categories: Personnel, Utilities/Facilities, Site Office Support, and General Requirements. Personnel includes all project management staff that are onsite and employed by the CM, Gilbane. Temporary utilities and the trailers they power are included in the Utilities/Facilities category. Products that are necessary for the proper functioning of an office are in the Site Office Support category. This includes travel, vehicles, office supplies, phones, and furniture. General requirements encompasses everything else that is required for a safe and productive site including but not limited to signage, barriers and fences, waste removal, and hoists. A summary breakdown is shown below in Table 2: Summary of General Conditions. The final cost is \$1,717,335 which translates to %5.5 of the original bid price.

#### TABLE 2: SUMMARY OF GENERAL CONDITIONS ESTIMATE

Summary of General Conditions Estimate											
Personnel	\$	1,104,915									
Utilities/Facilities	\$	90,190									
Site Office Support	\$	91,950									
General Requirements	\$	430,280									
Total	\$	1,717,335									

Note: A detailed breakdown of the entire estimate can be found in Appendix IV: General Conditions Estimate.

# CRITICAL INDUSTRY ISSUES

The pace Roundtable was held at the Penn Stater Conference Center on October 16<sup>th</sup>, 2008. Three topics were selected as the main focus of the technical sessions: LEED Evolution, BIM Strategies, and Energy and then Economy. BIM Strategies was the session I elected to attend. This session seemed to attract the most participants, and had a wide representation from the industry including companies such as Barton Malow, Benchmark, Forrester, Truland, Balfour Beatty, PSU OPP, and Alexander Construction. Having both an owner and GCs/CMs in the room helped to foster an open line of discussion about several topics, including information transfer, level of detail for models, current uses, and next steps.

## **BIM SESSION REVIEW**

Discussion at the BIM session focused around the concept of "Putting the 'I' in BIM", and what exactly this phrase means to owners, contractors, and subcontractors. The majority of representatives in the room indicated that the extent of their use for BIM revolved mostly, if not entirely, around 3D MEP coordination and clash detection.

One example that was going a step further, provided courtesy of Barton Malow, was a move towards more information being attached to the model. Specifically, on many of their projects, they have been using a program called "Techla", which originally was developed as a steel detailing software program, but has expanded itself to help with the project management aspect as well. They have been linking submittals and RFI's to a model to help document progress and be able to clearly articulate to the owner "We cannot proceed because we are waiting on RFI XXX, which is delaying this section of steel". It wasn't made entirely clear, but the implication seemed to be that information (submittals, RFI's, etc) was being stored in Techla, and this was not necessarily being linked back to other PM software that was being used.

Another topic that received attention was the level of detail that models need to have, and who is responsible for taking that far. There was a common sentiment that models being developed for design were not adequate to aide contractors in using them for quantity take-offs. A prevailing school of thought among those present, was that the architects' model was for design intent, and then it was the subcontractors' responsibility to take the model to the level of detail that they needed for takeoff or coordination processes. Many participants in the room indicated that this methodology seemed to work, and even stated that in terms of technology, the subcontractors were often ahead of the curve of the owners and GCs/CMs. One point that was made by the group was a desire to see vendors and suppliers lead the charge in terms of creating content that can be easily used by the A/E community with all the information already attached.

As these levels of detail are developed, the next logical step in the discussion was how to transfer the volumes of information that was now being produced. Questions that came out of this discussion were "How do we retain the information?" and "What information does each party really

need?" Unfortunately, there were no clear answers or direction offered up by the group. Conversion of files to IFC was mentioned and received the most focus. While there was a general support for this method, several examples of its shortcomings were presented. One such example included an exported file being imported to a different program and having the beams be changed into trees. Work on the interoperability of systems and software is an area that needs to improve for BIM to continue to move forward. Limited discussion occurred on information transfer between construction and facility management. The main concerns here were the amount of information to include and team limitations of the owner.

#### SURPRISING FACT

The fact that most surprised me was the lack of utilization of more BIM uses by the industry as a whole. While the technology is still working its way into the mainstream, the fact that more companies in the discussion have not completely embraced it was surprising. Many company representatives readily admitted that they were beginners or even below beginner, and that the companies they worked for were not using very much, if any, BIM. MEP coordination was the most wide spread use, but this only scratches the surface of potential. I was under the impression that many more companies were utilizing BIM in more ways than just 3D coordination.

#### IMPACT ON THESIS RESEARCH

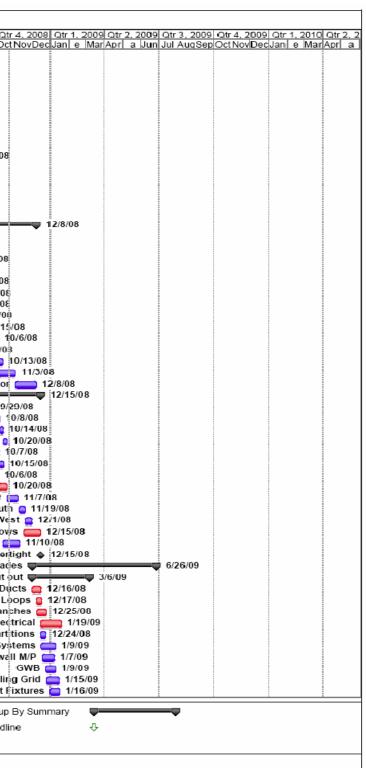
Doctors Community Hospital is a very MEP intensive project. With 3D coordination so prevalent in the industry, Gilbane could benefit from implementing this use on the DCH project. Moving beyond 3D coordination though, other BIM uses could have positive gains for the project. The site is extremely congested, which makes site planning incredibly important, but a static plan is not good enough. 4D site utilization plans are a good way to create a dynamic site plan that is easily communicated to other project participants. Taking this one step further, 4D construction sequencing can also be an effective tool to implement. It can help to analyze work flows and sequences on a congested site that has a tight schedule driving the project.

#### **KEY CONTACTS**

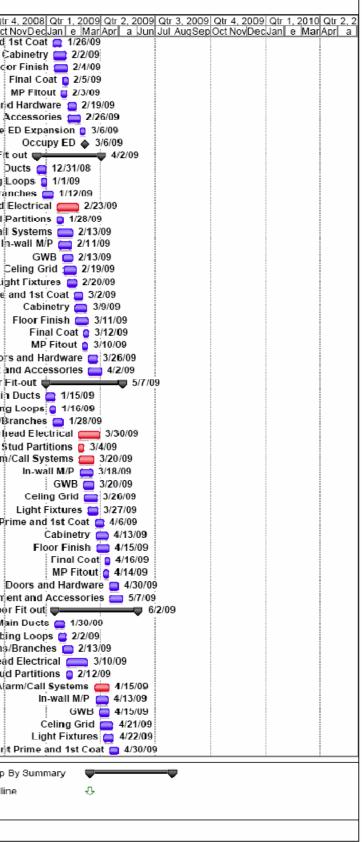
As previously stated, many of the industry members in the session were not confident in the BIM skills and understanding. There was one person however that could prove to be helpful as I move forward. Corinne Ambler, with Barton Malow, showed an in depth knowledge of implementing BIM on projects. The uses that were being applied laid outside of what I will likely focus on, but in terms of how to be successful in getting the team and subcontractors on board, she could prove to be a valuable asset.

## APPENDIX I: DETAILED PROJECT SCHEDULE

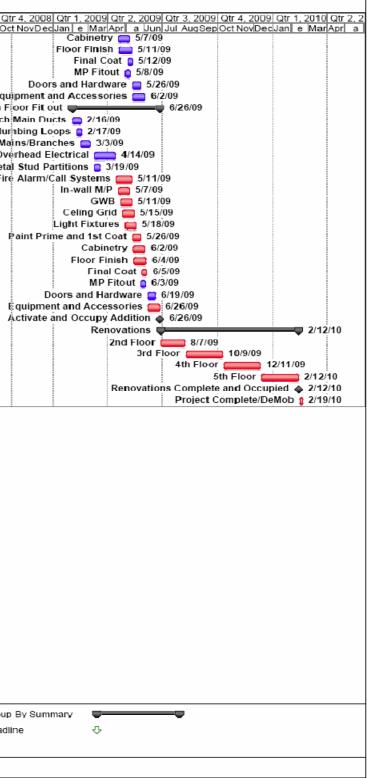
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4		Sitework	30 days		Wed 12/26/07			Sitework 12/3		
5		Exterior Demolition	25 days					Exterior Demolition 1/2		
6	1	Excavation		Thu 12/20/07				Excavation		
7	i	Underpinning	45 days		Fri 3/21/08			Underpinning (		
8	i	Sitework/Exterior Demo/Excavation/Underpin	95 days	Mon 11/19/07	Fri 3/28/08		Sitework/Exterior	Demo/Excavation/Underpin	3/28/08	
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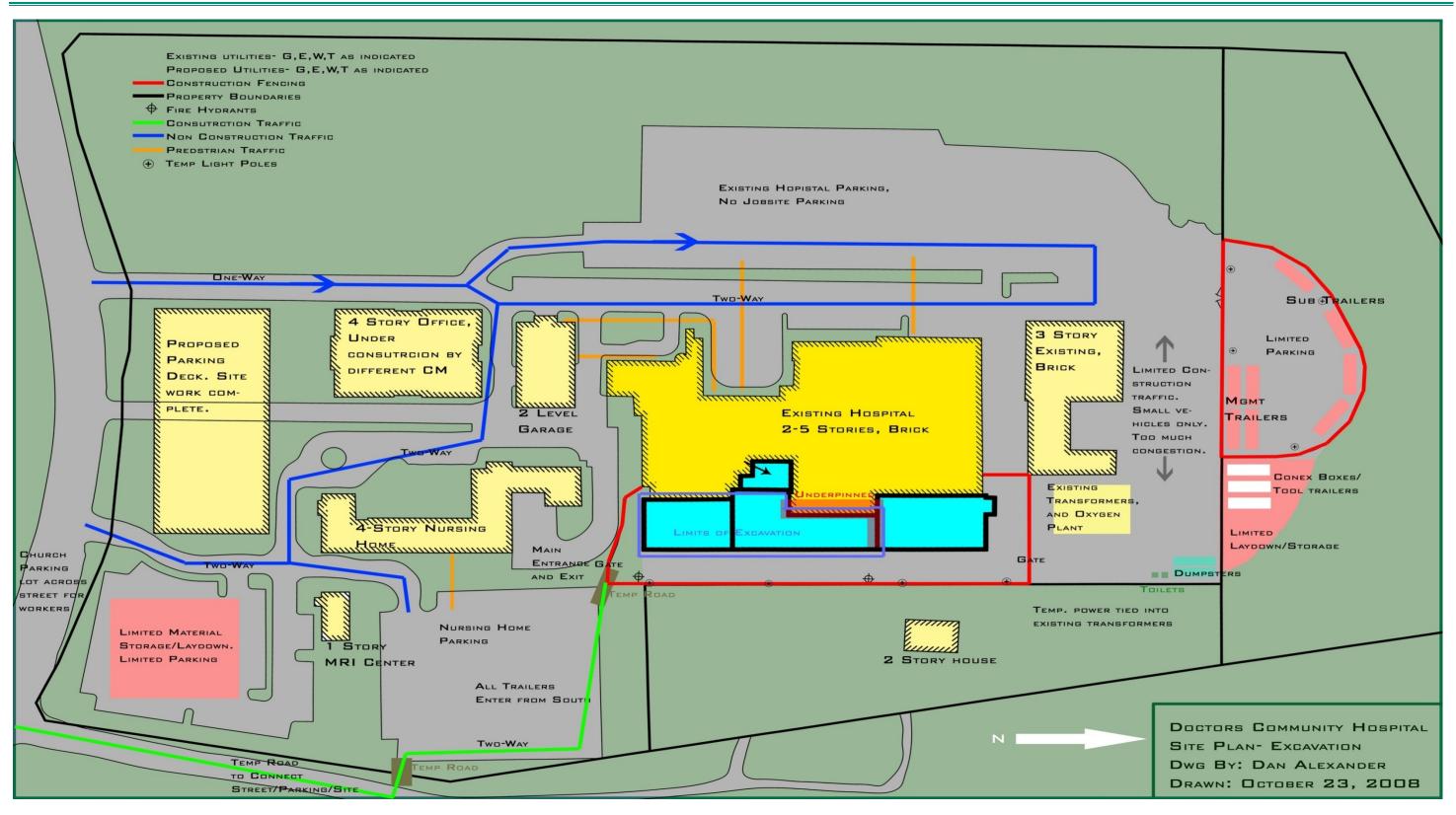
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7       2xx Prove File out       77 days       New 127/768       The 42008         8       Mach Main Ducts       11 days       Veid 127/768       The 42008         9       Pumming Loops       7 days       Weid 122/168       Thu 1700       Veid 122/168       Thu 1700         9       Pumming Loops       7 days       Weid 122/168       Thu 1700       Weid 122/168       Thu 1700         2       Origination       7 days       Thu 1700       Weid 122/169       Thu 1700       Weid 122/168       Thu 1700         2       Origination       7 days       Thu 1700       Weid 122/169       Thu 1700       Weid 122/169       Thu 1700         2       Origination       7 days       Thu 1700       Weid 122/169       Thu 1700       Weid 122/169       Thu 1700         3       Origination       7 days       Thu 2000       Meid 1200       Fig 1200       Meid 1200       Fig 1200         3       Opons and Hardware       10 days       Thu 1700       Weid 1200       Meid 1000       Thu 1700         3       Doos and Hardware       10 days       Thu 1700       Weid 1200       Meid 1200       Meid 1200       Meid 1200       Meid 1200         4       Equiper Thuin       16 days       <		-	-								Α	ctivate
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90       Pluming Loops       7 day       Wed 1224.00       Thu 1109         91       Operating Maxim/Sincher       2 day       F1 2000       Mon 22300         91       Operating Maxim/Sincher       2 day       F1 2000       Mon 22300         91       Operating Maxim/Sincher       2 day       F1 2000       Mon 22300         91       Operating Maxim/Sincher       2 day       F1 1200       Mon 22300         91       Operating Maxim/Sincher       2 day       F1 1200       Mon 22300         91       Operating Maxim/Sincher       1 day       F1 1200       F1 1200       F1 1200         92       Operating Maxim/Sincher       1 day       Maxim/Sincher       Mon 22300       Min 22400         92       Operating Maxim/Sincher       1 day       Maxim/Sincher       Maxim/Sincher       Maxim/Sincher         93       Operating Maxim/Sincher       1 day       Maxim/Sincher       Maxim/Sincher       Maxim/Sincher         94       Caluedy Maxim/Sincher       1 day       Tim 2100       Maxim/Sincher       Maxim/Sincher         95       Oper Finste       1 day       Tim 2100       Maxim/Sincher       Maxim/Sincher       Maxim/Sincher         96       Maxim/Sincher       1 day       T												loor F
0         Bytekser Manuferanches         12 days         Fit 12/2000         Kon 11/2000           2         Metal Sch Parthons         7 days         The 12/2000         Fit 12/2000         Fit 12/2000           2         Metal Sch Parthons         7 days         The 12/2000         Fit 12/2000         Fit 12/2000           2         Metal Sch Parthons         7 days         The 12/2000         Fit 12/2000         Fit 12/2000           3         Int-wall Bör         Fit 12/2000         Fit 12/2000         Fit 12/2000         Fit 12/2000           5         Gerling Grid         15 days         Fit 12/2000         Fit 12/2000         Fit 12/2000           6         Path Pitme and 14 Coat         6 days         Fit 12/2000         Fit 12/2000           6         Path Pitme and 14 Coat         6 days         The 2/2000         Fit 12/2000           7         Leph Fituraree         12 days         Fit 12/2000         Fit 12/2000           7         Decore and Fitakaree         10 days         Fit 12/2000         Fit 12/2000           7         Met Rist         6 days         The 2/2000         Fit 12/2000           7         Met Rist         11 days         The 1/2000         Fit 12/2000           7         Pa			-									n Main
1       O-vertead Bischrück       25 day, Tv. 12006       Mon. 222005         2       Heud Bud Prations       7 day, Tv. 12006       Mon. 222005         3       In-wall Bed/Fiel Alam/Call Systems       16 days       Mon. 222005         4       In-wall Bed/Fiel Alam/Call Systems       16 days       Mon. 222005         5       O-vertead Bischrück       15 days       Mon. 222005         6       O-vertead Bischrück       15 days       Tv. 27505         7       Lugh Trikure       12 days       Tv. 27505         8       Paint Prime and 1a Coat       10 days       Tv. 27505         9       Calibridy       14 days       Mon. 32056         0       Floor Friels       15 days       Tv. 27505         0       Doon and Variaware       10 days       Tv. 27506         1       Equipment and Ascossones       10 days       Tv. 37506         2       Start Prime       10 days       Tv. 11006       Tv. 13706         3       Doona and Variaware       10 days       Tv. 13706       Tv. 24506         6       Moch Main Duris       11 days       Tv. 11006       Tv. 13706         7       Purimey Locas       7 days       Tv. 12506       Tr. 137006 <t< td=""><td></td><td>2 .</td><td></td><td></td><td></td><td>i i</td><td></td><td></td><td></td><td></td><td></td><td>mbing</td></t<>		2 .				i i						mbing
2         Metal isor Partinos         7 arg         To 4 12000 Wet 71200 F           3         In-wall Beef Fire AmmCall Systems         16 day         Wet 21/106 F           4         In-wall MP         4 day         Fri 12200 Wet 21/106 F           5         G.WB         2 day         Fri 12200 F           6         Partie Fire and 18 Coat         10 day         Fri 12200 F           7         Caling Outers         6 day         Fri 12200 F           7         Galon System         16 day         Fri 12200 F           7         Caling Outers         6 day         Fri 12200 F           6         Partie Firms and 18 Coat         6 day         Tri 2200 F           7         Friat Coat         6 day         Tri 23000 T           3         Doos Firsh         15 day         Tri 32000 Tri 33000 Tri 33											Sprinkler Ma	-
3         In-wall Elec/Fie Atam/Call Systems         16 days         Wed 1/2100         Fill 2/1306           4         In-wall Elec/Fie         14 days         Fill 2/1306         Fill 2/1306           5         GvMB         12 days         Fill 2/1306         Fill 2/1306           5         GvMB         12 days         Fill 2/1306         Fill 2/1306           6         GvMB         12 days         Fill 2/1306         Fill 2/1306           7         GvMB         12 days         Till 2/1306         Fill 2/1306           7         GvMB         13 days         Till 2/1306         Mill 2/1306           7         Fill 2/1306         Mill 2/1306         Mill 2/1306         Mill 2/1306           7         Fill 2/1306         Mill 2/1306         Mill 2/1306         Mill 2/1306           7         Fill 2/1306         Mill 2/1306         Mill 2/1306         Mill 2/1306           7         Fill 2/1306         Till 2/1306         Till 2/1306         Mill 2/1306           8         Symmian KamurGanz         7 day         Till 2/1306         Till 2/1306           7         Pumming Loope         7 day         Till 1/160         Till 1/160         Till 2/1306           8         Symmian KamurGa												erhead
4       In wait MP       14 digs       Fm (13.09)       Wei 21105         5       CoVite       12 digs       Fm (13.00)       Tm (13.00)       Fm (13.00)         6       Celing Grid       15 Coal       14 digs       Fm (13.00)       Tm (13.00)       Fm (13.00)         7       Light Finkure       15 Coal       14 digs       Fm (13.00)       Tm (13.00)       Fm (13.00)         9												al Stud
5         OWB         11 days         The 12300         Fig 21300           6         Coling Grid         15 days         Fig 21300         Fig 21300           7         Light Finance         12 days         Fig 21300         Fig 2200           7         Light Finance         12 days         Fig 2200         Fig 2200           9         Calineiry         14 days         Wed 21120         Mon 32000           9         Calineiry         14 days         Wed 21120         Mon 32000           10         Prior Fission         15 days         Fig 31100         Fig 31100           21         MP Fisod         6 days         Two 32000         Fig 31000         Fig 31000           22         MP Fisod         16 days         Two 32000         Fig 31300         Tru 42000           23         Doors and Hardware         19 days         Tru 11000         Tru 42000         Fig 32000           3         Oxoco         Tru 23000         Fig 32000         Fig 32000         Fig 32000           6         Monthal Store Fisod         72 days         Tru 42000         Fig 32000           7         Humman Loco         74 days         Tru 42000         Fig 320000           7 <t< td=""><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>In-wall Elec/Fire Ala</td><td></td></t<>											In-wall Elec/Fire Ala	
76       O-Geing Grid       15 days       Fri 12000       The 211000         77       Lught Fixtures       12 days       Fri 12000       The 22000         78       Paut Finne and 15t Coat       10 days       True 21700       Mon 32000         79       Cabinety       14 days       True 21700       Mon 32000         70       Cabinety       14 days       True 21700       Mon 32000         70       Cabinety       14 days       The 217000       Wei 311100         71       Frina Coat       6 days       Thu 21700       Wei 311100         73       Frina Coat       6 days       Thu 21700       Wei 311100         74       Doos and Hardware       10 days       Frin 31200       Thu 32000         75       Standard Accessories       17 days       Thu 42000       Frin 32000         75       Standard Accessories       17 days       Thu 42000       Frin 32000         76       Punning Loose       7 days       Thu 417800       Frin 32000         76       O-Metal Stup Frin 3000       Thu 32000       Frin 32000       Frin 32000         76       Cabinety       Thu 3100       Frin 32000       Frin 32000       Frin 32000         76       <			-									1
7       Light Thurses       12 days       The 2009       The 2009         8       Paint Prime and 16 Coal       10 days       The 2009       Non 3206         9       Calanity       14 days       Wed 24108       Mon 3206         9       Calanity       14 days       Wed 24108       Mon 3206         9       Calanity       6 days       The 2708       Mon 3206         10       Float Calanity       6 days       The 27128       Mon 3206         11       Float Calanity       6 days       The 27128       Mon 3206         13       Doros and Hariware       10 days       Fra 37306       The 37206       Fra 47100         14       Septimer ManaGranches       12 days       The 17306       Fra 47306       Fra 47306         14       Chemister ManaGranches       12 days       The 17306       Fra 47306       Mon 32066         15       3.47 Borne       Fra 27306       Fra 27306       Fra 27306       Mon 32066         16       Calanity       Fra 27306       Fra 27306       Fra 27306       Fra 27306         16       Calanity       Fra 27306       Fra 27306       Fra 27306       Fra 27306         17       Humoul ElsoFin AlamiCal Bystems <td< td=""><td></td><td></td><td>-</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></td<>			-									
8       Paint Prime and 1st Coat       10 daya       Tue 21709       Mon 32009         9       Casinety       Casinety       Mon 32009       Mon 32009         0       Floor Finish       15 daya       Thue 31709       Mon 32009         0       Floor Finish       15 daya       Thue 31709       Mon 32009         2       MP Fear       6 daya       Thue 31709       Mon 32009         2       MP Fear       6 daya       Thue 31709       Thue 31709         3       Depos and Hathwate       6 daya       Thue 31709       Thue 31709         5       Jyrd Fioor Filcout       91 days       Thue 11709       Thue 31709         7       Plumbing Loops       7 daya       Thue 11709       Thue 21700       Fio 71 mus 11709         8       Synthker Mandelfanches       12 daya       Thue 117309       Mon 32009       Fio 71 mus 11709         7       Overland Electriculat       25 daya       Thue 21200       Thue 21200       Fio 71 mus 2100         9       Orterland Electriculat       25 daya       Thue 21200       Fio 71 mus 2100       Fio 71 mus 2100         10       Mach Man Dutts       Thue 21200       Thue 21200       Fin 22009       Fin 22009         11 <t< td=""><td></td><td>-</td><td>-</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></t<>		-	-									
9         Cabinesy         14 days         Wed 2018/00         Mon 20080         Mon 200		-	-									Li
0         Floor Finish         15 days         Tru 27000         Wed 371000           2         MP Floot         6 days         Tru 37000         Tru 37000           2         MP Floot         6 days         Tru 37000         Tru 37000           2         MP Floot         6 days         Tru 37000         Tru 37000           2         MP Floot         6 days         Tru 37000         Tru 37000           3         Doos and Hardware         10 days         Tru 17000         Tru 37000           6         Mech Main Ducts         11 days         Tru 17000         Tru 17000           6         Mech Main Ducts         11 days         Tru 17000         Tru 17000           7         Pummisnic Ducts         11 days         Tru 17000         Tru 17000           8         Sprinker Mains@Farches         12 days         Tru 272000         Fri 171000           7         Pummisnic Duchs         12 days         Tru 272000         Fri 371000           7         Calinetry         14 days         Fri 377000         Fri 377000           7         Calinetry         14 days         Tru 372000         Fri 377000           7         Calinetry         14 days         Tru 372000         Fru						I i i					Pain	t Prime
1       Final Coat       6 days       Thu 39:00												
2       MP Float       6 day       Tue 37000       Tue 37000         3       Doors and Hafware       10 days       Fri 31300       Tue 37000         4       Equipment and Accessores       15 days       Fri 31300       Tue 37000         5       376 Floor Fl.cout       91 days       Tue 11700       Tue 42009         6       Mech Main Ducts       11 days       Tue 11700       Fue 717000         7       Plumbing Loops       7 days       Tue 11700       Muel 72800         9       Overelined Lexical       25 days       Tue 11700       Muel 72800         9       Overelined Lexical       25 days       Tue 11700       Muel 72800         0       Metal Stud Partitions       7 days       Tue 22409       Muel 34000         10       In-wait Step       12 days       Tue 17200       Fri 32000         0       Metal Stud Partitions       12 days       Tue 32200       Fri 32000         14       Celling ofid       15 days       Tue 32200       Fri 32000         15       Light Fibures       12 days       Tue 32200       Fri 32000         16       Light Fibures       12 days       Tue 32200       Fri 32000       Fri 32000       Muel 32000       Fri 3												
33       Doors and Hardware       10 days       Fir 31300       Thu 22609         44       Equipment and Accessories       15 days       Fir 31300       Thu 22609         55       3rd Floor Filcout       91 days       Thu 1/109       Thu 5709         56       Mech Main Ducts       11 days       Thu 1/100       Thu 1/100       Thu 1/100         77       Plumbing Loops       7 days       Thu 1/100       Thu 1/100       Thu 1/100         77       Plumbing Loops       7 days       Thu 1/100       Thu 1/100       Thu 1/100         78       Original Excitical       22 days       Thu 1/100       Thu 1/100       Thu 1/100         79       Pumbing Loops       7 days       Thu 1/100       Thu 1/100       Thu 1/100         70       Original Excitical       22 days       Thu 2/200       Ved 3/2009       Ved 3/2009         70       Calined Grid       12 days       Thu 3/2009       Thu 3/2009       Thu 3/2009       Thu 3/2009         70       Calined Grid       12 days       Thu 3/2009       Thu 3/2009       Thu 3/2009       Thu 3/2009       Thu 3/2009         70       Calined Grid       12 days       Thu 3/2009       Thu 3/2009       Thu 3/2009       Thu 3/2009       <			-			l i i						
4       Equipment and Accessories       15 days       Fn 3/13/09       Thu 4/209         5       3/7 Loo Fil-Lout       91 days       Thu 1/100       Thu 1/100       Thu 1/100         7       Plumbing Loope       7 days       Thu 2/200       Fil 1/100       Thu 1/100       Thu 1/100         8       Sprinker Mains/Branches       12 days       Thu 1/100       Thu 1/100       Thu 1/100       Thu 1/100         9       Overlicad Executival       25 days       Thu 2/200       Mod 1/2300       Mod 1/2300         9       Overlicad Executival       25 days       Thu 2/200       Fil 3/1300       Mod 1/2300         10       In-wall Electrical and Call systems       18 days       Fil 2/200       Fil 3/200       Fil 3/200         2       In-wall M/P       14 days       Fil 2/200       Fil 3/200       Fil 3/200         3       GWB       12 days       Thu 3/200       Fil 3/200       Fil 3/200         4       Celing Grid       15 days       Fil 3/200       Fil 3/200       Fil 3/200         6       Paint Prine and 15 days       Fil 3/200       Fil 3/200       Mod 4/300       Thu 3/200         10       Doors and Hardware       10 days       Fil 4/200       Fil 1/2000       Fil 1/												Doo
5       3rd Floor Fit.out       91 days       Thu 1/109       Thu 57/09         6       Mech Main Duds       11 days       Thu 1/109       Thu 1/100       Wed 1/100       Wed 1/100       Wed 1/100       Wed 1/100       Wed 1/100       Wed 1/100       Thu											Equi	Doo prment
6         Mech Main Ducts         11 days         Thu 11/109         Thu 11/109           7         Phumbing Loose         7 days         Thu 1/1090         Fri 1/1000           8         Sprinkier Mains/Eranches         12 days         Thu 21/2009         Fri 1/1000           9         Orveriwaet Elevicial         25 days         Thu 22/2009         Wed 1/2009           0         Metal Stud Partitions         7 days         Thu 22/2009         Wed 3/2009           1         In-wait Elevicial         10 days         Fri 22/2009         Fri 3/2009           2         In-wait Elevicial         10 days         Fri 3/2009         Fri 3/2009           3         G/WB         12 days         Thu 3/2009         Fri 3/2009           3         G/WB         12 days         Thu 3/2009         Fri 3/2009           6         Partin Prime and 1st Coat         10 days         Fri 3/2009         Fri 3/2009           18         Prioor Finish         15 days         Thu 3/2009         Fri 3/2009           10         days         Fri 4/709         Thu 4/3009         Fri 4/709         Thu 4/3009           10         Doors and Hardware         10 days         Fri 4/709         Thu 4/3009         Fri 4/709         Fri 4												Floor
7       Plumbing Loops       7 days       The 1/1000       Frit 1/1000       Frit 1/1000         8       Sprinker Mainsferanches       12 days       Tue 1/1000       Frit 1/1000 </td <td></td> <td>ch Mai</td>												ch Mai
8       Sprinkler Mains/Paraches       12 days       Tue 1/12/09       Wed 1/28/00         9       Overlined Electrical       25 days       Tue 2/24/09       Mur 3/3009         01       Metal Stud Paritions       7 days       Tue 2/24/09       Wed 3/4009         02       In-wall Electrical       15 days       Tue 2/24/09       Wed 3/4009         03       In-wall Electrical       15 days       Tue 3/2009       Wed 3/4009         03       GWB       12 days       Thu 3/2009       Thu 3/2009       Tue 3/2009         04       In-wall Electrical       16 days       Tue 3/2009       Thu 3/2009       Thu 3/2009         05       Light Fintures       12 days       Thu 3/2009       Thu 3/2009       Thu 3/2009         05       Light Fintures       12 days       Thu 3/2009       Thu 3/2009       Thu 3/2009         06       Paint Finne and 1st Coatt       10 days       Tue 3/2009       Thu 4/2009       Thu 4/2009         07       Cabinetry       14 days       Wed 3/25/08       Mon 4/8009       Tue 4/409       Tue 4/409         07       Doors and Hardware       10 days       Tru 4/2009       Tue 4/409       Tue 4/409       Tue 4/409       Tue 4/409       Tue 4/409       Tue 4/409			-									lumbin
98       Overhead Electrical       25 days       Tre 22409       More 33009         90       Medi Stad Partitions       7 days       Tre 22409       Wed 34099         91       In-wall Electrine Alarm/Call Systems       16 days       Fri 32009       Fri 32009         92       In-wall Electrine Alarm/Call Systems       16 days       Fri 32009       Fri 32009         93       GWB       12 days       Fri 32009       Fri 32009       Fri 32009         94       Celing Grid       15 days       Fri 32009       Fri 32009       Fri 32009         95       Light Fintures       12 days       Tri 3009       Wed 471509       Fri 32009         96       Paint Prime and 1st Coat       10 days       Tri 30209       Wed 471509         97       Cabinetry       14 days       Wed 22509       Mon 4/809         98       Floor Finish       15 days       Tru 32009       Wed 471509         99       Trancoat       6 days       Tru 471709       Tru 471409       Tru 471409         910       Doors and Hardware       10 days       Fri 471709       Tru 471409       Tru 471409         92       Prime and stode statincal       25 days       Tru 47109       Tru 47109       Tru 47109											Sprinkler	
0       Metal Stud Partitions       7 days       Tue 222409       Wed 34209         1       In-wall Electrica AamvCall Systems       18 days       Wed 22509       Fin 32009         2       In-wall MP       14 days       Fin 22709       Wed 34209         3       GWB       12 days       Thu 3509       Fin 32009         4       Celling Grid       16 days       Fin 32009         5       Light Fintures       12 days       Thu 32009         6       Bancheriy       14 days       Fin 22709         7       Cabinetry       14 days       Fin 22709         8       Floor Finish       15 days       Fin 32009         7       Cabinetry       14 days       Wed 32509         8       Floor Finish       15 days       Fin 47109         7       Doors and Hardware       10 days       Fin 47109         7       Doors and Hardware       10 days       Fin 122009         7       Ocenthand Ducto       11 days       Fin 122009         7       Ocenthan Ducto       11 days       Fin 122009         7       Ocenthan Ducto       11 days       Fin 122009       Fin 22009         70       Overhead Electrical       25 days <td></td> <td>Sprinkler</td> <td>Overt</td>											Sprinkler	Overt
11       In-wall Elec/Fire AlamvCall Systems       18 days       Wed 22500       Fri 32000         20       In-wall MP       14 days       Fri 27700       Wed 371800       Fri 32000         33       GWB       12 days       Thu 3500       Fri 32000       Fri 32000         34       Celing Grid       15 days       Fri 32000       Fri 32000       Fri 32000         35       Light Fixtures       12 days       Thu 32000       Fri 32000       Fri 32000         36       Paint Prime and 1st Coat       10 days       True 32400       Mon 4/1305         36       Floor Finish       15 days       Thu 32000       Wed 4/1509         37       Cabinetry       14 days       Wed 32508       Mon 4/1305         38       Floor Finish       15 days       Thu 4/1609         00       MP Flout       6 days       The 4/1709         10       Doors and Hardware       10 days       Fri 4/1709         10       Doors and Hardware       19 days       Fri 11/1200         10       Overhead Electrical       25 days       Wed 2/100       Thu 2/1200         10       In-wall Elec/Fire AlamvCall System       18 daye       Fri 1/1200       Fri 2/100         10			-									Metal \$
27       In-wall M/P       14 days       Fri 277.00       Wed 314000         38       GWB       12 days       Thu 35.00       Fni 32009         34       Ceing Grid       15 days       Fni 327.00       Fni 327.00         35       Light Fixtures       12 days       Thu 312.00       Fni 327.00         36       Paint Prime and 14 Coat       10 days       Fni 327.00         37       Cabinetry       14 days       Wed 325.00       Mon 4/8009         38       Floor Finish       15 days       Thu 326.00         39       Floor Finish       15 days       Thu 326.00         30       MP Filout       6 days       Thu 326.00         30       MP Filout       6 days       Thu 470.00         30       Grid Mays       Fri 477.00       Thu 62.00         31       Mu Filoo Fil out       98 days       Fri 171.00       Thu 62.00         32       Equipment and Accessories       15 days       Fri 177.00       Mon 22.00         33       4th Filoo Fil out       98 days       Fri 177.00       Mon 22.00       Fri 123.00         33       Ath Filoo Fil out       98 days       Fri 173.00       Mon 22.00       Fri 123.00       Fri 477.00       F												
33       GWB       12 days       Thu 3/5/00       Fri 3/2/000         34       Celing Grid       15 days       Thu 3/2/000       Thu 3/2/000         35       Light Fixtures       12 days       Thu 3/2/000       Fri 3/2/000         36       Paint Prime and 1st Coat       10 days       Tru 3/2/000       Mon 4/3/000         36       Paint Prime and 1st Coat       10 days       Tru 3/2/000       Mon 4/13/000         37       Cabinetry       14 days       Thu 3/2/000       Mon 4/13/000         38       Floor Finish       15 days       Thu 4/10/00       Thu 4/10/00         30       MP Fitout       6 days       Thu 4/10/00       Thu 4/10/00         31       40       Moch Main Duct       11 days       Fri 1/10/00       Thu 4/10/00         32       411       Floor Fitout       98 days       Fri 1/16/00       Fit 0/17/00       Thu 4/10/00         33       411       Floor Fitout       98 days       Fri 1/16/00       Thu 3/2/00       Fit 1/10/00         33       411       Moch Main Duct       11 days       Fit 1/12/00       Mon 2/2/000       Fit 3/2/000       Fit 3/2/000       Fit 3/2/000       Fit 3/2/000       Mon 2/2/000       Mon 2/2/000       Mon 2/2/000 <t< td=""><td></td><td>-</td><td>-</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>in-wait Electric</td><td>, Alum</td></t<>		-	-								in-wait Electric	, Alum
44       Celling Grid       15 days       Fri 30:009       Thu 320:009       Mon 416:009       Mon 42:009       <			-									
56       Light Fixtures       12 days       Thu 3/12/09       Fri 3/27/09         66       Paint Prime and 1st Coat       10 days       Tu 3/22/09       Mon 4/13/09         77       Cabinetry       14 days       Wed 3/25/09       Mon 4/13/09         88       Floor Finish       15 days       Thu 3/26/09       Wed 4/15/09         99       Final Coat       6 days       Thu 4/10/09       Thu 4/10/09         00       MP Flout       6 days       Thu 4/10/09       Thu 4/10/09         01       Doors and Hardware       10 days       Fri 4/17/09       Thu 4/10/09         02       Equipment and Accessories       15 days       Fri 1/16/09       Thu 5/7/09         03       4th Floor Fit out       98 days       Fri 1/16/09       Thu 5/7/09         04       Moch Main Ducte       11 days       Thu 2/10/09       Fri 2/13/09         05       Plumbing Loops       7 days       Wed 2/109       Thu 2/12/09         07       Overhead Electrical       25 days       Wed 2/109       Thu 2/12/09         07       Overhead Electrical       25 days       Wed 2/109       Thu 2/12/09         08       Metal Stud Paritions       7 days       Wed 2/2/09       Thu 2/12/09												
66       Paint Prime and 1st Coat       10 days       Tue 3/24/09       Mon 4/6/09         77       Cabinetry       14 days       Wed 3/25/09       Mon 4/1309         88       Floor Finish       15 days       Thu 3/26/09       Wed 4/15/09         99       Pinal Coat       6 days       Thu 4/26/09       Wed 4/15/09         99       Pinal Coat       6 days       Thu 4/20/09       Thu 4/30/05         00       MP Fhout       6 days       Thu 4/20/09       Thu 4/30/05         01       Doors and Hardware       10 days       Fri 4/17/09       Thu 4/30/05         02       Equipment and Accessories       15 days       Fri 1/16/00       Fri 1/16/00         03       4th Floor Fit out       98 days       Fri 1/16/09       Thu 3/20/09         05       Plumbing Loops       7 days       Wed 2/4/09       Thu 2/21/09         05       Sprinkler Mains/Branches       12 days       Thu 1/29/09       Fri 2/13/09         07       Overhead Electrical       25 days       Wed 2/4/09       Thu 2/21/09         08       Metal Sud Paritions       7 days       Wed 2/21/09       Fri 2/13/09         07       Overhead Electrical       25 days       Wed 2/21/09       Fri 1/16/09     <		-	-									
77       Cabinetry       14 days       Wed 325/09       Mon 4/13/09         88       Floor Finish       15 days       Thu 3/60/09       Wed 4/15/09         98       Filoar Finish       15 days       Thu 4/9/09       Thu 4/9/09       Thu 4/9/09         00       MP Fitout       6 days       Thu 4/9/09       Thu 4/9/09       Thu 4/9/09         01       Doors and Hardware       10 days       Fri 4/17/09       Thu 5/7/09         02       Equipment and Accessories       15 days       Fri 1/16/00       Fri 1/16/00         02       Equipment and Accessories       15 days       Fri 1/16/00       Fri 1/16/00         03       4th Floor Fl out       98 days       Fri 1/16/00       Fri 1/16/00       Fri 1/16/00         04       Moch Main Ducte       11 days       Fri 1/16/00       Fri 1/13/00       Fri 1/13/00         05       Plumbing Loops       7 days       Fri 1/16/00       Fri 1/13/00       Fri 2/13/00         07       Overhead Electrical       25 days       Wed 3/25/09       Mon 4/13/09       Fri 2/13/00         06       In-wall M/P       14 days       Wed 3/25/09       Mon 4/13/09       In wall         10       In-wall M/P       14 days       Wed 3/10/09 <td< td=""><td></td><td>-</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>Paint P</td></td<>		-										Paint P
88       Floor Finish       15 days       Thu 3/26/09       Wed 4/15/09         99       Final Coat       6 days       Thu 4/9/09       Thu 4/16/09         99       Final Coat       6 days       Thu 4/16/09       Thu 4/16/09         00       MF Fitout       6 days       Thu 4/16/09       Thu 4/16/09         01       Doors and Hardware       10 days       Fri 4/17/09       Thu 4/30/09         02       Equipment and Accessories       15 days       Fri 4/17/09       Thu 4/30/09         02       Equipment and Accessories       11 days       Fri 1/16/09       Tue 6/2/09         03       4th Floor Fit out       98 days       Fri 1/16/09       Tue 6/2/09         04       Moch Main Duete       11 days       Fri 2/13/09       Mor 2/109         05       Plumbing Loops       7 days       Wed 2/4/09       Tue 2/109         05       Plumbing Loops       7 days       Wed 2/4/09       Tue 2/1009         06       Metal Stud Paritions       7 days       Wed 2/1/09       Tue 2/1009         07       Overhead Electrical       25 days       Wed 4/15/00       Tue 4/2/09         10       In-wall Elec/Fire Alarm/Call Systems       18 days       Mor 4/17/09       Tue 4/2/09			-									
99       Final Coat       6 days       Thu 4/16/09       Thu 4/16/09         00       MP Fitout       6 days       Tu 4/17/09       Tu 4/14/09         01       Doors and Hardware       10 days       Fri 4/17/09       Thu 4/30/09         02       Equipment and Accessories       15 days       Fri 4/17/09       Thu 4/30/09         03       4th Floor Fit out       98 days       Fri 1/16/09       Tu 6/2/09         04       Moch Main Ducte       11 daye       Fri 1/16/09       Tu 6/2/09         05       Plumbing Loops       7 days       Fri 1/2/3/09       Mor 2/2/09         06       Sprinkler Mains/Branches       12 days       Thu 1/2/09       Thu 2/2/09         07       Overhead Electrical       25 days       Wed 2/4/09       Tu 2/12/09         08       Metal Stud Paritions       7 days       Hod 2/2/09       Mor 2/2/09         11       GWB       12 days       Tu 4/1/09       Tu 4/2/109         12       Celing Grid       15 days       Wed 2/4/09       Tu a/1/2/09         13       Light Fixtures       12 days       Tu 4/2/109       Tu 4/2/109         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/2/109		-										
00         MP Fitout         6 days         Tue 4/1/09         Tue 4/1/09           01         Doors and Hardware         10 days         Fri 4/17/09         Thu 4/30/09           02         Equipment and Accessories         15 days         Fri 4/17/09         Thu 4/30/09           03         4th Floor Fit out         98 days         Fri 1/16/09         Tue 6/2/09           04         Mech Main Ducte         11 days         Fri 1/16/09         Tue 3/10/09           05         Plumbing Loops         7 days         Fri 1/2/09         Non 2/2/09           06         Sprinkler Mains/Branches         12 days         Thu 1/29/09         Fri 2/13/09           07         Overhead Electrical         25 days         Wed 2/4/09         Tue 3/10/09           08         Metal Stud Paritions         7 days         Wed 2/4/09         Tue 3/10/09           08         Metal Stud Paritions         15 days         Wed 2/4/09         Tue 3/10/09           11         GWB         12 days         Iue 3/31/09         Wed 4/15/09           12         Celing Grid         15 days         Wed 4/1/09         Tue 4/2/09           13         Light Fixtures         12 days         Tue 4/7/09         Wed 4/2/09           14			-									
01         Doors and Hardware         10 days         Fri 4/17/09         Thu 4/30/09           02         Equipment and Accessories         15 days         Fri 4/17/09         Thu 4/30/09           03         4th Floor Fit out         98 days         Fri 1/16/09         Tue 6/2/09           04         Moch Main Ducte         11 daye         Fri 1/16/09         Tue 6/2/09           04         Moch Main Ducte         11 daye         Fri 1/16/09         Fri 1/30/00           05         Plumbing Loops         7 days         Fri 1/12/09         Mon 2/2/09           06         Sprinkler Mains/Branches         12 days         Thu 1/2/09         Fri 2/13/09           07         Overhead Electrical         25 days         Wed 2/4/09         Tue 3/10/09           08         Metal Stud Partitions         7 days         Wed 3/25/09         Mon 1/13/09           08         In-wall Elec/Fire Alarm/Call Systems         18 days         Mod 1/15/09         In wall           10         In-wall M/P         14 days         Wed 3/25/09         Mod 4/15/09         In wall           12         Celing Grid         15 days         Tue 4/7/09         Tue 4/2/09         In wall           0ject: DetailSched alev. Fri 10/24/08         Task         Mil												
02         Equipment and Accessories         15 days         Fri 4/17/09         Thu 5/7/09           03         4th Floor Fit out         98 days         Fri 1/16/09         Tue 6/2/09         Tue 6/2/09         Tue 6/2/09         Tue 6/2/09         Fri 1/16/09         Fri 1/16/09         Tue 6/2/09         Fri 2/13/09												
03       4th Floor Fit out       98 days       Fri 1/16/09       Tue 6/2/09         04       Moch Main Ducto       11 days       Fri 1/16/09       Fri 4/20/09         05       Plumbing Loops       7 days       Fri 1/23/09       Mon 2/209         05       Plumbing Loops       7 days       Fri 1/23/09       Mon 2/209         06       Sprinkler Mains/Branches       12 days       Thu 1/29/09       Fri 2/13/09         07       Overhead Electrical       25 days       Wed 2/4/09       Tue 3/10/09         08       Metal Stud Parittions       7 days       Wed 2/4/09       Tue 3/10/09         08       Metal Stud Parittions       7 days       Wed 2/4/09       Tue 3/10/09         09       In-wall Elec/Fire Alarm/Call Systems       18 days       Mon 3/22/09       Wed 4/15/09         10       In-wall M/P       14 days       Wed 3/25/09       Mon 4/13/09       In wall         12       Celing Grid       15 days       Wed 4/1/09       Tue 4/2/09       In wall         13       Light Fixtures       12 days       Tue 4/2/09       Proyed 4/12/09       Fri 4/20/09         14       Paint Prime and 1st Coat       10 days       Fri 4/20/09       Summary       Rolled Up Critical Task       Split </td <td></td> <td>Equipment and Accessories</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>Equipm</td>		Equipment and Accessories										Equipm
04       Moch Main Duete       11 days       Fri 1/16/00       Fri 1/30/00         05       Plumbing Loops       7 days       Fri 1/23/09       Mon 2/2/09         05       Sprinkler Mains/Branches       12 days       Thu 1/29/09       Fri 2/3/09         07       Overhead Electrical       25 days       Wed 2/4/09       Tue 3/10/09         08       Metal Stud Partitions       7 days       Wed 2/4/09       Thu 2/12/09         09       In-wall Elec/Fire Alarm/Call Systems       18 days       Mon 3/23/09       Wed 4/15/09         10       In-wall Elec/Fire Alarm/Call Systems       18 days       Wed 3/25/09       Mon 4/13/09         11       GWB       12 days       Iue 3/31/09       Wed 4/12/09         11       GWB       12 days       Iue 4/2/109       Iue 4/2/109         12       Celing Grid       15 days       Wed 4/2/2/09       Iue 4/2/109         13       Light Fixtures       12 days       Tue 4/7/09       Wed 4/2/2/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Tue 4/2/109         14       Paint Prime and 1st Coat       10 days       Summary       Rolled Up Critical Task       Split         Ite:       Fri 10/24/08       Rolled Up												th Floe
05         Plumbing Loops         7 days         Fri 1/23/09         Mon 2/2/09           06         Sprinkler Mains/Branches         12 days         Thu 1/29/09         Fri 2/13/09           07         Overhead Electrical         25 days         Wed 2/4/09         Tue 3/10/09           08         Metal Stud Paritions         7 days         Wed 2/4/09         Tue 2/10/09           09         In-wall Elec/Fire Alarm/Call Systems         18 days         Mon 3/23/09         Wed 4/15/09           10         In-wall MI/P         14 days         Wed 3/25/09         Mon 4/13/09           11         GWB         12 days         Tue 4/1/09         Wed 4/15/09           12         Celing Grid         15 days         Wed 4/12/09         In e4/21/09           12         Celing Grid         15 days         Tue 4/17/09         Wed 4/22/09           14         Paint Prime and 1st Coat         10 days         Fri 4/17/09         Thu 4/30/09           14         Paint Prime and 1st Coat         10 days         Summary         Rolled Up Critical Task         Split           Progress         Rolled Up Task         Rolled Up Progress         Project Summary         Fit end Up Task         Project Summary												loch M
06       Sprinkler Mains/Branches       12 days       Thu 1/29/09       Fri 2/13/09         07       Overhead Electrical       25 days       Wed 2/4/09       Tue 3/10/09         08       Metal Stud Partitions       7 days       Wed 2/4/09       Tue 2/12/09         09       In-wall Electrical       25 days       Wed 2/4/09       Tue 2/12/09         10       In-wall Electrical       12 days       Tue 3/23/09       Wed 4/15/00         11       GWB       12 days       Iue 3/31/09       Wed 4/15/09         12       Celing Grid       15 days       Wed 4/1/109       Tue 4/21/09         12       Celing Grid       15 days       Tue 4/21/09       Thu 4/30/09         13       Light Fixtures       12 days       Tue 4/71/09       Thu 4/30/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         Task       Summary         Critical Task       Summary       Rolled Up Critical Task       Split         Progress       Rolled Up Task       Rolled Up Progress       Project Summary	05	Plumbing Loops										Plumb
07       Overhead Electrical       25 days       Wed 2/4/09       Tue 3/10/09         08       Metal Stud Partitions       7 days       Wed 2/4/09       Thu 2/12/09         09       In-wall Elec/Fire Alarm/Call Systems       18 days       Mon 3/23/09       Wed 1/15/09         10       In-wall M/P       14 days       Wed 3/25/09       Mon 4/15/09         11       GWB       12 days       Iue 3/31/09       Wed 4/15/09         12       Celing Grid       15 days       Wed 4/1/09       Tue 4/21/09         13       Light Fixtures       12 days       Tue 4/7/09       Wed 4/22/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         15       Task       Summary       Rolled Up Critical Task       Split         18e. Fit 10/24/08       Rolled Up Task       Rolled Up Progress       Project Summary											Sprinkle	
08       Metal Stud Partitions       7 days       Wed 2/4/09       Thu 2/12/09         09       In-wall Elec/Fire Alarm/Call Systems       18 days       Mon 3/23/09       Wed 4/15/09         10       In-wall M/P       14 days       Wed 3/25/09       Mon 4/13/09         11       GWB       12 days       Iue 3/31/09       Wed 4/15/09         12       Celing Grid       15 days       Wed 4/109       Tue 4/21/09         12       Celing Grid       15 days       Wed 4/12/09       Wed 4/22/09         13       Light Fixtures       12 days       Tue 4/21/09       Tue 4/21/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         oject: DetailSched       Critical Task       Summary       Rolled Up Critical Task       Split         Progress       Rolled Up Task       Rolled Up Progress       Project Summary       Fit end Cup Progress		· · · ·	-									verhea
00       In-wall Elec/Fire Alarm/Call Systems       18 days       Mon 3/23/09       Wed 4/15/09         10       In-wall M/P       14 days       Wed 3/25/09       Mon 4/13/09         11       GWB       12 days       Iue 3/31/09       Wed 4/15/09         12       Celing Grid       15 days       Wed 4/15/09       Wed 4/15/09         12       Celing Grid       15 days       Wed 4/15/09       Wed 4/12/09         13       Light Fixtures       12 days       Tue 4/21/09       Wed 4/12/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         0ject: DetailSched       Task       Milestone       Rolled Up Critical Task       Split         Progress       Rolled Up Task       Rolled Up Progress       Project Summary												etal Stu
10       In-wall M/P       14 days       Wed 3/25/09       Mon 4/13/09         11       GWB       12 days       Iue 3/31/09       Wed 4/15/09         12       Celing Grid       15 days       Wed 4/1/09       Tue 4/21/09         13       Light Fixtures       12 days       Tue 4/7/09       Wed 4/22/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         10       Critical Task       Summary       Rolled Up Critical Task       Split         Progress       Rolled Up Task       Rolled Up Progress       Project Summary         Project Summary       Rolled Up Progress       Project Summary       Project Summary			-								In wall Elec	
12       Celing Grid       15 days       Wed 4/1/09       Tue 4/21/09         13       Light Fixtures       12 days       Tue 4/7/09       Wed 4/22/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         oject: DetailSched Ide. Fii 10/24/08       Task       Milestone       Rolled Up Critical Task       Split         Progress       Rolled Up Task       Rolled Up Progress       Project Summary	10	In-wall M/P	-									
12       Celing Grid       15 days       Wed 4/1/09       Tue 4/21/09         13       Light Fixtures       12 days       Tue 4/7/09       Wed 4/22/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09         oject: DetailSched ele. Fri 10/24/08       Task       Milestone       Rolled Up Critical Task       Split         Progress       Rolled Up Task       Rolled Up Progress       Project Summary												
13       Light Fixtures       12 days       Tue 4/7/09       Wed 4/22/09         14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09       Image: Chical Task for the task for task for the task for task fo			-									
14       Paint Prime and 1st Coat       10 days       Fri 4/17/09       Thu 4/30/09       Rolled Up Critical Task       Split         roject: DetailSched ale. Fri 10/24/08       Task       Milestone       Rolled Up Critical Task       Split         Progress       Rolled Up Task       Rolled Up Progress       Project Summary												
oject: DetailSched ale: Fii 10/24/08 Critical Task Summary Rolled Up Milestone A Fxternal Tasks Fxternal Tasks Progress Project Summary Project Summary Rolled Up Progress Project Summary Rolled Up Task Rolled Up Progress Project Summary Proje	14	Paint Prime and 1st Coat	10 days	Fri 4/17/09	Thu 4/30/09							Pair
oject: DetailSched Ile. Fri 10/24/08 Critical Task Summary Rolled Up Milestone A Fxternal Tasks Fxternal Tasks Progress Project Summary Project Summary Rolled Up Task Rolled Up Progress Project Summary Rolled Up Task		Task			ilestope		Rolled Up Oritical Tax	k (	Quit			Group
Ale. Fri 10/24/08 Contrai Lask Summary Rolled Up Milestone Contrai Lask Progress Project Summary Project Summary Project Summary Project Summary Rolled Up Progress Project Summary Rolled Up Progress Project Summary Rolled Up Progress Rolled	olect: Detail	Sched				×		n				
			1	S	ummary	Ç	Rolled Up Milestone	$\diamond$	Extern	al Tasks		Deadli
Page 2		Progress		R	olled Up Task	ļ.	Rolled Up Progress		Project	t Summary		
Page 2							-					
							Page	2				

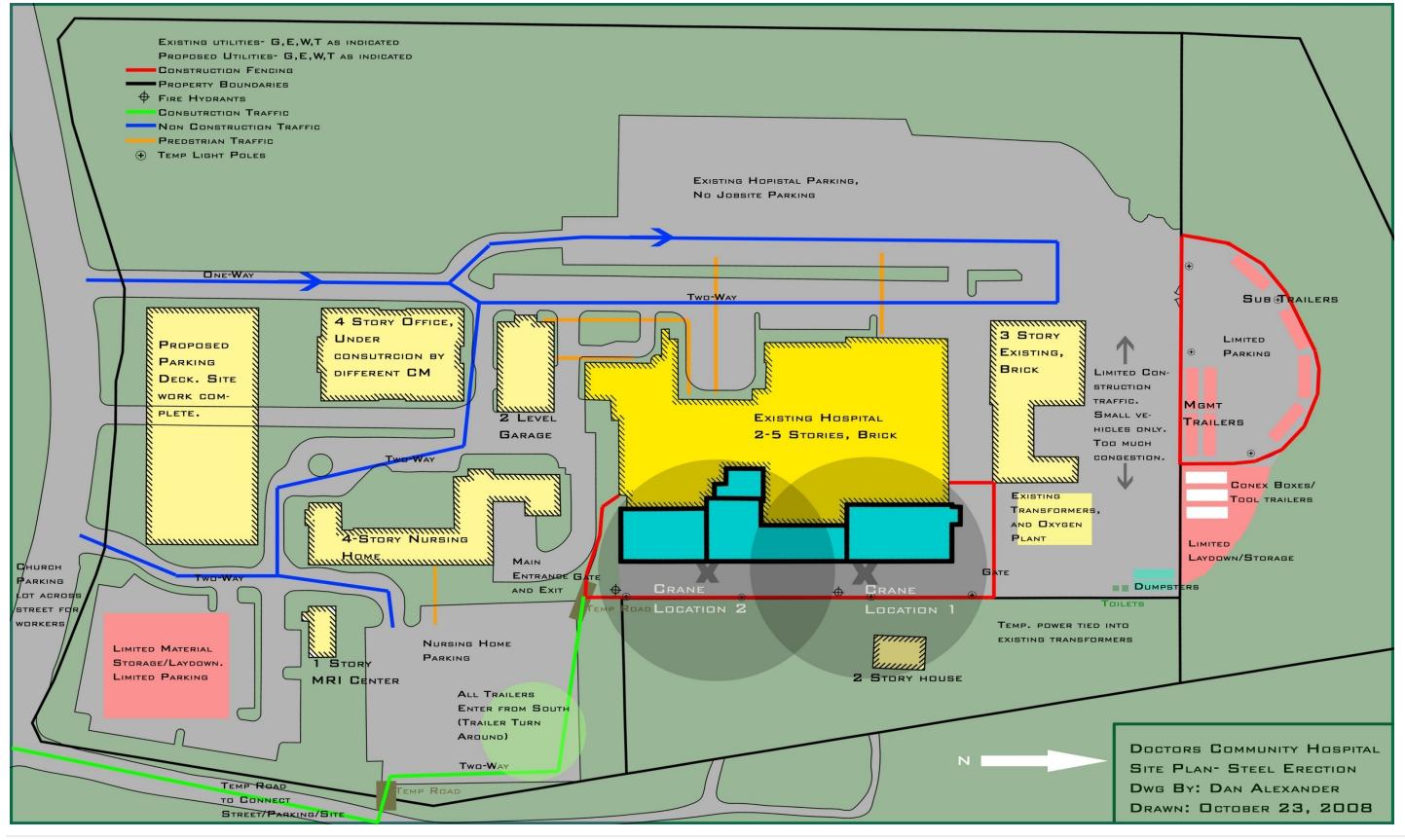


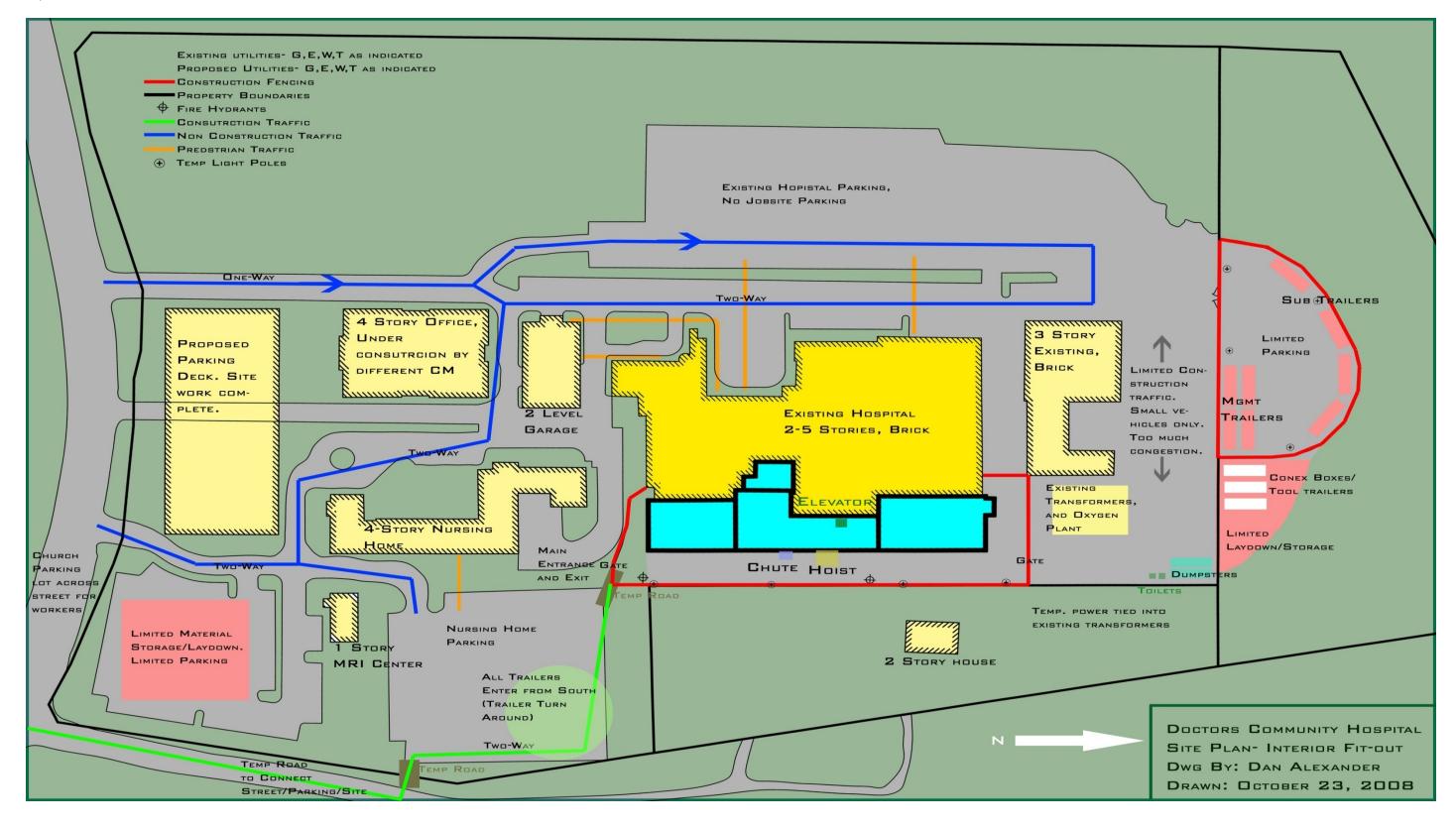
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445	Task Name	Duration	Start	Finish	1, 2006 Qtr 2, 2006 e MarApr a Jun	Utr 3, 2006 Q Jul AuaSeplO	tr 4, 2006 0 ct NovDec Ja	<u>)</u> tr 1, 2007 an e Mar	Apr a Jun	<u>Qtr 3, 2007</u> Jul AugSei	Oct NovDec	Qtr 1, 200 Jan FebMa	8 Qtr 2, 20 ar April a 1.	JU8 Qtr 3, Jun Jul Ai	2008 0 gSepl0	<u>)tr</u> )ct i
115	Cabinetry	14 days	Mon 4/20/09	Thu 5/7/09												
116	Floor Finish	15 days	Tue 4/21/09	Mon 5/11/09												
117 118	Final Coat MP Fitout	6 days 6 days	Tue 5/5/09 Fri 5/1/09	Tue 5/12/09 Fri 5/8/09												
119	Doors and Hardware	10 days	Wed 5/13/09	Tue 5/26/09												
120	Equipment and Accessories	15 days	Wed 5/13/09	Tue 6/2/09											Eo	uip
121	5th Floor Fit out	105 days	Mon 2/2/09	Fri 6/26/09											5th	
122	Mech Main Ducts	11 days	Mon 2/2/09	Mon 2/16/09											Mec	
123	Plumbing Loops	7 days	Mon 2/9/09	Tue 2/17/09											-	umit
124	Sprinkler Mains/Branches	12 days	Mon 2/16/09	Tue 3/3/09										Spri	nkler N	lain
125	Overhead Electrical	25 days	Wed 3/11/09	Tue 4/14/09												vėr
126	Metal Stud Partitions	7 days	Wed 3/11/09	Thu 3/19/09											Me	
127	In-wall Elec/Fire Alarm/Call Systems	18 days	Thu 4/16/09	Mon 5/11/09										In-wall	Elec/Fi	re /
128 129	In-wall M/P GWB	14 days	Mon 4/20/09	Thu 5/7/09 Mon 5/11/09												
130	Celing Grid	12 days 15 days	Fri 4/24/09 Mon 4/27/09	Fri 5/15/09												
131	Light Fixtures	12 days	Fri 5/1/09	Mon 5/18/09												
132	Paint Prime and 1st Coat	10 days	Wed 5/13/09	Tue 5/26/09												Pa
133	Cabinetry	14 days	Thu 5/14/09	Tue 6/2/09												
134	Floor Finish	15 days	Fri 5/15/09	Thu 6/4/09												
135	Final Coat	6 days	Fri 5/29/09	Fri 6/5/09												
136	MP Fitout	6 days	Wed 5/27/09	Wed 6/3/09												
137	Doors and Hardware	10 days	Mon 6/8/09	Fri 6/19/09												
138	Equipment and Accessories	15 days	Mon 6/8/09	Fri 6/26/09												Eq
139 140	Activate and Occupy Addition Renovations	0 days	Fri 6/26/09	Fri 6/26/09 Fri 2/12/10												Ac
140	2nd Floor	165 days 30 days	Mon 6/29/09 Mon 6/29/09	Fri 8/7/09												
142	3rd Floor	45 days		Fri 10/9/09												
143	4th Floor		Mon 10/12/09	Fri 12/11/09												
144	5th Floor	45 days	Mon 12/14/09	Fri 2/12/10												
145	Renovations Complete and Occupied	0 days	Fri 2/12/10	Fri 2/12/10												
146	Project Complete/DeMob	5 days	Mon 2/15/10	Fri 2/19/10												



# APPENDIX II: SITE LAYOUT PLANS







# APPENDIX III: DETAILED STRUCTURAL ESTIMATE BREAKDOWN

Detailed Structural Estimate												
teel												
	Quantity	Unit	Material	La	bor	Equi	pment	Tota	al Unit Cost	Tot	al	
olumns												
HSS6X6X5/16	13	EA	\$ 297.00	\$	43.50	\$	29.00	\$	369.50	\$	4,803.5	
W10X49	39	LF	\$ 54.50	\$	2.27	\$	1.52	\$	58.29	\$	2,273.3	
W12X106	52	LF	\$ 140.00	\$	2.55	\$	1.68	\$	144.23	\$	7,499.9	
W12X136	84	LF	\$ 150.00	\$	2.55	\$	1.68	\$	154.23	\$	12,955.3	
W12X170	68	LF	\$ 230.00	\$	2.57	\$	1.72	\$	234.29	\$	15,931.7	
W12X40	135	LF	\$ 57.00	\$	2.27	\$	1.52	\$	60.79	\$	8,206.6	
W12X53	239	LF	\$ 63.00	\$	2.27	\$	1.52	\$	66.79	\$	15,962.8	
W12X58	26	LF	\$ 68.00	\$	2.30	\$	1.52	\$	71.82	\$	1,867.3	
W12X65	660	LF	\$ 77.00	\$	2.32	\$	1.54	\$	80.86	\$	53,367.6	
W12X72	68	LF	\$ 84.00	\$	2.35	\$	1.56	\$	87.91	\$	5,977.8	
W12X79	106	LF	\$ 93.00	\$	2.35	\$	1.57	\$	96.92	\$	10,273.5	
W12X87	262		\$ 105.00	\$	2.38	\$	1.59	\$	108.97	\$	28,550.1	
W8X31	1480	LF	\$ 37.50	\$	2.17	\$	1.45	\$	41.12	\$	60,857.6	
W8X35	226		\$ 42.00	\$	2.19	\$	1.47	\$	45.66	\$	10,319.1	
W8X40	216	LF	\$ 49.00	Ś	2.24	\$	1.49	\$	52.73	\$	11,389.6	
W8X48	169	LF	\$ 58.00	\$	2.27	\$	1.52	\$	61.79	\$	10,442.5	
W8X58		LF	\$ 68.00	\$	2.32	\$	1.55	\$	71.87	\$	6,683.9	
W8X67	282		\$ 81.00	Ś	2.38	\$	1.59	\$	84.97	Ś	23,961.5	
			7 02.00	Ŧ		Ŧ		Ŧ		Ŧ		
eams												
W10X12	335.07	I F	\$ 14.50	\$	3.91	\$	2.61	\$	21.02	\$	7,043.1	
W10X12 W12X14	718.6		\$ 16.95	Ś	2.66	\$	1.78	\$	21.39	\$	15,370.8	
W12X19	2361.84		\$ 24.00	\$	2.66	\$	1.87	\$	28.53	\$	67,383.3	
W12X13	159.1		\$ 26.50	\$	2.66	\$	1.87	\$	31.03	\$	4,936.8	
W12X22 W12X30	180.22		\$ 35.00	\$	2.00	\$	1.90	\$	39.66	\$	7,147.5	
W12X35	709.25		\$ 42.50	\$	2.89	\$	1.93	\$	47.32	\$	33,561.7	
W12X33	280.05		\$ 48.00	\$	2.93	\$	1.97	\$	52.90	\$	14,814.0	
W12X40 W14X22	6816.6		\$ 28.50	ې \$	2.35	ې \$	1.57	ې \$	32.90	\$	220,857.8	
W14X22 W14X26	126.82		\$ 28.50	ې \$	2.35	ې \$	1.55	\$ \$	35.45	\$	4,495.7	
	2097.62				2.37	ې \$				<u> </u>	74,360.0	
W16X26			\$ 31.50	\$		ې \$	1.58	\$ \$	35.45	\$	-	
W16X31	97.76		\$ 37.50	\$	2.60		1.74		41.84	\$	4,090.2	
W16X36	1273.93		\$ 44.50	\$	2.87	\$	1.90	\$	49.27	\$	62,766.	
W16X40	516.18		\$ 48.50	\$	2.93	\$	1.96	\$	53.39	\$	27,558.8	
W18X35	44.76		\$ 42.50	\$	3.53	\$	1.77	\$	47.80	\$	2,139.	
W18X40	130.67		\$ 48.50	\$	3.53	\$	1.77	\$	53.80	\$	7,030.	
W18X50	195		\$ 60.50	\$	3.72	\$	1.86	\$	66.08	\$	12,885.0	
W21X44		LF	\$ 53.00	\$		\$		\$	57.79		3,005.	
W21X50		LF	\$ 60.50	\$	3.19	\$	1.60	\$	65.29		1,697.	
W21X57	168		\$ 69.00	\$	3.24	\$	1.62	\$	73.86		12,408.4	
W21X68	281.5		\$ 82.50	\$	3.27	\$	1.64		87.41		24,605.9	
W24X68		LF	\$ 82.50	\$	3.06	\$	1.53	\$	87.09		4,877.0	
W24X76	55.5		\$ 92.00	\$	3.06	\$	1.53	\$	96.59	· ·	5,360.	
W24X94	29.5		\$ 114.00	\$	3.14	\$	1.57	\$	118.71		3,501.9	
W8X15	34.68		\$ 18.15	\$	3.81	\$	2.61	\$	24.57		852.0	
W8X18	15	LF	\$ 21.00	\$	3.84	\$	2.63	\$	27.47	\$	412.0	
		ļ								<u> </u>		
letal Deck		ļ										
1 1/2" 18 Gauge	67861	SF	\$ 1.36	\$	0.32	\$	0.03	\$	1.71	\$	116,042.3	
1		1								I		

## Detailed Structural Estimate (Cont)

Concrete							
	Quantity	Unit	Material	Labor	Equipment	Total Unit Cost	Total
Foundations							
Spread Footings (1-5 CY)	367	CY	\$ 192.00	\$ 95.50	\$ 0.57	\$ 288.07	\$ 105,721.69
Caissons	550	VLF	\$ 56.50	\$ 57.50	\$ 66.00	\$ 180.00	\$ 99,000.00
Grade Wall	10	СҮ	\$ 228.00	\$ 279.00	\$ 27.50	\$ 534.50	\$ 5,345.00
Floors							
Slab on Grade (6")	17423	SF	\$ 1.95	\$ 0.75	\$ 0.01	\$ 2.71	\$ 47,216.33
Concrete on Metal Deck (6")	67861	SF	\$ 2.02	\$ 0.73	\$ 0.28	\$ 3.03	\$ 205,618.83
6x6 WWF Reinforcing	852.84	CSF	\$ 29.00	\$ 25.50	\$-	\$ 54.50	\$ 46,479.78
					Concrete Total		\$ 509,381.63

STRUCTURAL TOTAL: \$ 1,539,912.10

# APPENDIX IV: GENERAL CONDITIONS ESTIMATE

	General Conditions Estimate									
Total Project Weeks	119									
Total Project Months	27									

Personnel	% of time on Project	Total Billable Weeks	Cos	t per Week	Total Cost
Project Executive	50%	59.5	\$	2,100	\$ 124,950
Project Manager	100%	119	\$	1,850	\$ 220,150
Assistant Project Manager	100%	119	\$	1,600	\$ 190,400
Field Engineer	100%	119	\$	1,125	\$ 133,875
General Superintendent	70%	83.3	\$	1,800	\$ 149,940
Assistant Superintendent	100%	119	\$	1,600	\$ 190,400
Office Manager	100%	119	\$	800	\$ 95,200

#### **Category Total**

Utilities/Facilities	Frequency	Duration	Cost/Ur	nit Time	Total Cost	
Electric/Water	Monthly	27		500	\$	13,500
Internet	Monthy	27	\$	300	\$	8,100
Porta Johns	Weekly	119	\$	60	\$	7,140
Telephone	Monthly	27	\$	600	\$	16,200
Trailer Set up	Lump Sum	-		-	\$	10,000
Trailers	Monthly	27	\$	750	\$	20,250
Utilities Hook Up	Lump Sum	-		-	\$	15,000

#### **Category Total**

#### 90,190

1,104,915

\$

\$

\$

Site Office Support	Frequency	Duration	Cost/U	nit Time	Total Cost	
Cell phone and Nextel	Monthly	27	\$	300	\$	8,100
Computers	Lump Sum	-		-	\$	10,000
Janitorial service for trailer	Monthly	27	\$	200	\$	5,400
Job Travel	Monthly	27	\$	250	\$	6,750
Job vehicle fuel/maintenance	Monthly	27	\$	400	\$	10,800
Job Vehicle/Auto Allowance	Monthly	27	\$	1,000	\$	27,000
Office Furniture	Lump Sum	-		-	\$	5,000
Office Supplies	Monthly	27	\$	400	\$	10,800
Postage and Shipping	Monthly	27	\$	300	\$	8,100

**Category Total** 

91,950

## General Conditions Estimate (Cont)

Requirements	Frequency	Duration	Cost/U	nit Time	Total Cost	
Bid Set Repro Costs/Distribution	Lump Sum	-		-	\$	25,000
Copiers and Supplies	Monthly	27	\$	600	\$	16,200
Dumpsters	Weekly	119	\$	650	\$	77,350
Final Clean	Lump Sum	-		-	\$	20,000
Material Hoist	Weekly	21	\$	1,780	\$	37,380
Mock-up (Patient Room)	Lump Sum	-		-	\$	45,000
Safety and First Aid	Monthly	27	\$	1,200	\$	32,400
Signage	Lump Sum	-		-	\$	10,00
Snow Removal	Lump Sum	-		-	\$	25,00
Survey and Layout	Lump Sum	-		-	\$	35,00
Temp Fence	Monthly	27	\$	550	\$	14,85
Temp Ladders/Stairs/Ramps	Lump Sum	-		-	\$	30,00
Temp Roads	Lump Sum	-		-	\$	50,00
Trash Chute	Weekly	22	\$	550	\$	12,10
Category Total					\$	430,28
General Conditions Total					\$	1,717,33